

# PROPERTY INSPECTION REPORT

Prepared For: **John Doe**

(Name of Client)

Concerning: **1234 Anywhere Lane The Woodlands, Texas 77380**

(Address or Other Identification of Inspected Property)

By: **Rodney Sims / Lic# 10271**

(Name and License Number of Inspector)

**02/13/2010 / 9:00am**

(Date / Time)

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at [www.trec.state.tx.us](http://www.trec.state.tx.us).

The TREC Standards of Practice (Sections 535.227-535.231 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is not required to move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector will note which systems and components were Inspected (I), Not Inspected (NI), Not Present (NP), and/or Deficient (D). General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing parts, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported as Deficient may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards, form OP-1.

This property inspection is not an exhaustive inspection of the structure, systems, or components. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

Items identified in the report do not obligate any party to make repairs or take other action, nor is the purchaser required to request that the seller take any action. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

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ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Inspection and Report by:  
(Real Estate Inspection Specialist)



☒ Occupied

☐ Vacant

PRESENT AT INSPECTION: **Buyer / Buyer's Agent**

**Weather Condition at Time of Inspection**

☐ Clear

☒ Overcast/Hazy

☐ Cloudy

☐ Rainy

☐ Snow/Ice

Outside Temperature: Arrival **45° F.** Departure: **55° F.**

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**NOTE: Please see the 'SUMMARY OF INSPECTION'**  
**located at the end of this document.**

**NOTE: Regarding TREC OP-I Form (Hazards and Deficiencies):**

Effective 02/01/2009, the Texas Real Estate Commission issued revised Standards of Practice (see the TREC OP-I form) **'mandating' Licensed Home Inspectors to report certain Hazards or Deficiencies**, even though these conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered". Some sections of this report 'may' reflect items which have been flagged as 'D' for 'Deficiency' as a result of this mandate. For further clarification of any of these items, please refer to the text of the TREC OP-I form at the end of this document.

**NOTE: Regarding Usage of the 'D - Deficiency' Code:**

If the inspector notes a System (report section) as Deficient, it does not necessarily indicate that the 'entire' System is Deficient, but rather that 'at least one' Deficiency was noted for that System.

EXAMPLE: If the 'oven clock' is inoperative, the inspector will specifically note this on the report and, as required by TREC, also (flag) the report section for 'Ranges, Cooktops and Ovens' as Deficient. **(HOWEVER, this DOES NOT imply that the 'ENTIRE' Range, Cooktop and Oven was Deficient,** but rather that 'at least one' Deficiency was noted for this System).

Photo of Subject Property:



I=Inspected

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I	NI	NP	D	Inspection Item
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## I. STRUCTURAL SYSTEMS

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### A. Foundations

TREC 'Required' Information: Foundation Type (appeared to be):

**Concrete Post-tension Slab**

Crawl Space Inspected From:

**Not Applicable for a Slab**

NOTE: If the client has additional concerns regarding specific components of the foundation system, it is recommended that the client contact a competent professional Structural Engineer.

Comments: *(An opinion on performance is mandatory):*

**-In the opinion of the Inspector, the foundation IS performing the function for which it was intended.**

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### B. Grading & Drainage

Comments:

☒ ☐ ☐ ☒

### C. Roof Covering Materials

TREC 'Required' Information:

Roof Viewed From: **Walked some surfaces**Roof Covering (Type): **Composition** Roof Levels NOT accessed: **Second Story**Evidence of 'Previous Repairs' to Roof Coverings and Flashings: **Yes**

Comments:

**-PVC vents should be painted as required.** (This prevents deterioration by the sun's UV rays)

**-At the flat metal roof above the front porch, the inspector was unable to determine the flashing method used.** (There was no step-flashing or counter-flashing where the flat metal intersected the brick. The inspector was unable to determine whether or not the flat metal roof was flashed 'up' behind the brick)

**-At the flat metal roof above the front porch, the inspector noted that the brick installation 'may' not conform to standard installation methods.** (The bricked area in question 'appeared' to rest directly on the porch flat metal roof material. Typically, brick in an area such as this, rests on a metal 'intel' of other appropriate supporting structure) (See the photos provided.)





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**-Minor shingle damage was noted on the lower edges in several locations.** (mostly located along the front, front right corner, and front right ridge)



**-In the back, just above the chimney, either 'age' or 'damage' to the shingles was noted.**

**-On the back side, one exhaust vent 'appears' that the rain collar may not be attached well.**





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-One of the exhaust vent flashing, (possibly the one in the above right photo), is incorrectly sealed with both spray foam and tar on the underside.

-A second exhaust vent flashing is also incorrectly sealed with tar on the underside.



-The inspector noted 'several' areas of questionable roof flashings around the chimney. (these areas are documented in the photos below)



Left side



Right side

Upper back side at the 'cricket'



Patched with caulk, many places



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Left side

Right side

Siding apparently cut out and flashing should not be 'on the top'

Should have a Z-Flashing



Upper right side viewed from above

Upper right side viewed from below



NOTE: On the two flat dormer flashings in the back, due to inaccessibility, the inspector was unable to check that the flat area has sufficient slope to facilitate water runoff. The inspector recommends that 'if' a roofing company is consulted, that this area be checked.



**NOTE: Due to issues noted, the inspector recommends examination of the Roof Covering Materials by a 'competent' roofing specialist company.**

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#### D. Roof Structure & Attic

TREC 'Required' Information (Attic):

Attic Viewed From: **Walked deck or safe area**

Approx. Avg. Depth of Insulation: **10"** Approx. Avg. Thickness of Vertical Insulation: **6"**

Comments:



I=Inspected

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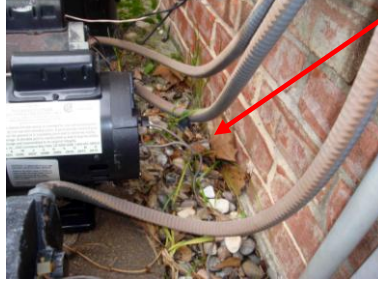
NP=Not Present

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**E. Walls (Interior & Exterior)**

Comments:

**EXTERIOR:****-There is a 'small' crack in the mortar above the front upper left window****-On the left side, at the pool equipment, the brick does not have the required vertical clearance to the grade. (Algae growth was also noted in this area)****-All outdoor faucets, gas, other pipes and vents should be sealed with sealant to prevent water penetration through the exterior walls. (see the following photos for examples)**

**-On the right exterior wall, a code violation was noted with regard to the 'glass blocks' in the three bathroom windows.** These glass blocks are technically named (Glass Masonry Units). 'Glass Masonry Units' may be used in exterior walls and be connected with mortar. **HOWEVER, Glass Masonry Units are only permitted for use in non load-bearing conditions.** (By definition these units are non load-bearing. Therefore, when they are used in a wall opening, a properly designed header or lintel must be provided. Panels of glass unit masonry must be isolated from the structure so that in-plane loads are not transferred to the glass.)

**The inspector's examination of the three window areas indicated that there is 'apparently' NO metal LINTEL above the Glass Masonry Units to support the load of the brick above the windows.**

NOTE: The inspector did not observe any current adverse effects from the installation, but is obligated to report that the installation method used is not appropriate.

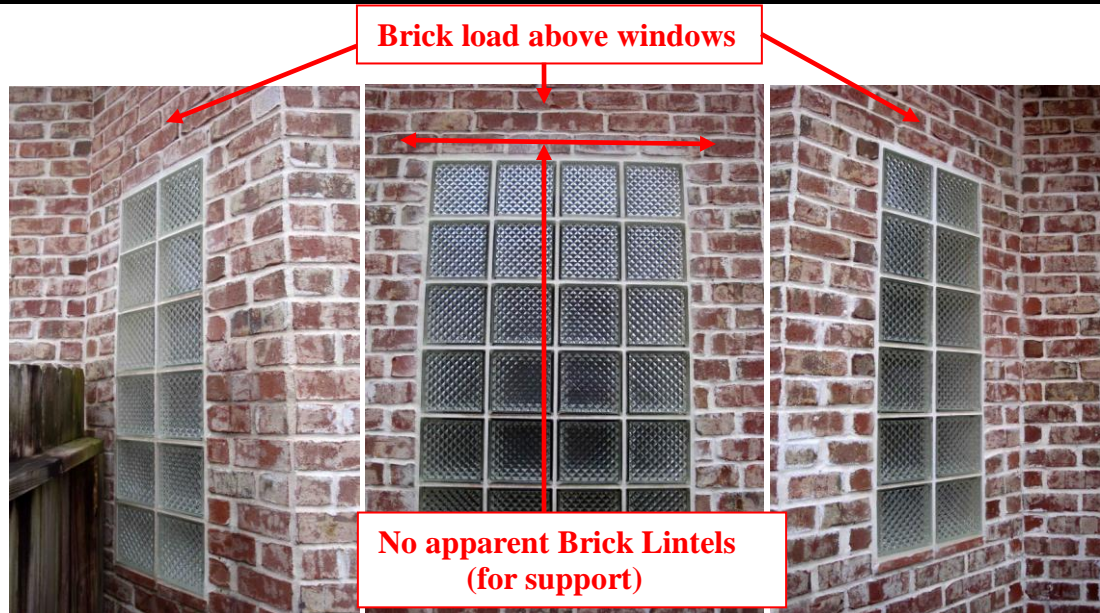
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#### F. Ceilings & Floors

Comments:

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#### G. Doors (Interior & Exterior)

Comments:

**-Safety Glass was not present as required in the front door.**



**-The door between the residence and the garage is not 'self closing'.** (This is a safety requirement)

**-The first floor guest bath sliding door latch is not functional.**

**-In the upstairs Jack & Jill bathroom, the sliding door latch is not functional.**

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#### H. Windows

Comments:

**NOTE:** The inspector was unable to locate the 'safety glass' emblem on the fixed glass portion of the shower. (The emblem 'may' have been inadvertently cut off during installation)



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### I. Stairways (Interior & Exterior)

Comments:

**-The pull down staircase in the garage is not adequately secured to the ceiling joists.** (Code required for it to be secured with 16-D size nails)

**-The attic fold-down staircase does not have the required decked 'landing area' in the attic.**



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### J. Fireplace/Chimney

Type: **Metal**      Fuel Source: **Gas Log only**

Comments:

**-The exhaust vent 'damper clamp' is missing.** (This is a required safety device on gas fireplaces.)

**-The wooden chimney area, where it penetrates the roof decking, is incorrectly 'patched' with spray foam.** (Moisture meter testing in the area indicated that some framing members had a 'currently' elevated moisture content.)



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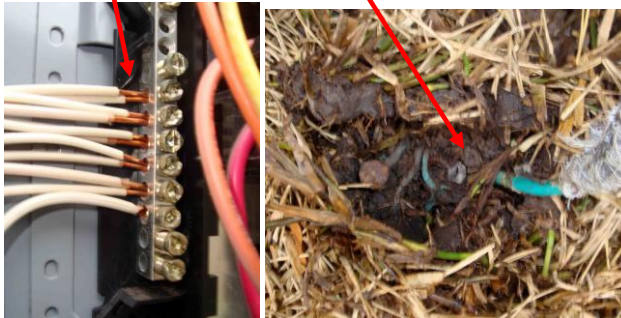
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**K. Porches, Balconies, Decks, and Carports**Comments: *Note: Structural load capabilities were not inspected*
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**L. Other**

Comments:

**II. ELECTRICAL SYSTEMS**
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**A. Service Entrance and Panels**

(Refer to OP-I form at the end of this document for some TREC requirements)

Comments:

**MAIN PANEL (Outside):****-Some of the breakers are not labeled as required.****-None of the required locations in the house were protected by Arc Fault Breakers as is required by current building code. Even though this may have not been required at the time of construction, TREC requires that licensed inspectors flag this condition with a "D" for "Deficiency". For more information, refer to the TREC OP-I Form at the end of this report.****-'Double lugging' of Neutral wires was noted on the neutral bar.****-The grounding wire is not securely connected to the grounding electrode.****SUB PANEL (Inside):****-None of the required locations in the house were protected by Arc Fault Breakers as is required by current building code. Even though this may have not been required at the time of construction, TREC requires that licensed inspectors flag this condition with a "D" for "Deficiency". For more information, refer to the TREC OP-I Form at the end of this report.****-'Double lugging' of Neutral wires was noted on the neutral bar.****-Inside the panel box, the inspector was unable to 'definitively determine' a wire on the ground bus bar, which is being used as the 'ground wire' to the outside grounding electrode. (Also, on the outside of the house, the inspector was unable to locate a 'grounding electrode' (with corresponding 'grounding wire') which is connected to the sub-panel.)**



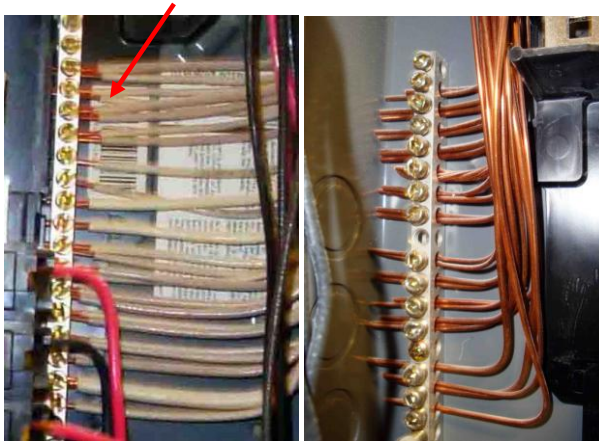
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**NOTE: Due to issues noted, the inspector recommends service and system check by competent licensed electrician.**

☒ Due to issues observed, recommend service and system check by licensed electrician.

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### **B. Branch Circuits, Connected Devices, and Fixtures**

TREC 'Required' Information:

Type of Wiring: **Copper**

Comments: *Note: Central Smoke Alarms were not tested.*

- The required GFCI receptacle(s) were not functional on the front porch.
- The required GFCI receptacles were not present at both front upper soffits.
- On the garage right wall, two receptacles are not GFCI protected as required. (the one for the sprinkler, and the one on the wall to the left of the workbench)
- The receptacle is not secure in the kitchen, to the right of the microwave.
- In the master bath, the receptacle to the left of the left sink has a broken face plate.
- The receptacle is not secure in the formal living room, second on the right wall.
- The receptacle is not secure on the left wall of the purple bedroom.

## **III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS**

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### **A. Heating Equipment**

**Heating (Unit-1):**

TREC 'Required' Information:

Type of Heating System: **Furnace** Energy Source: **Gas**

Comments: (Unit-1)

- The exhaust vent, at the roof penetration, is incorrectly sealed with spray foam.
- The spray foam attached to the furnace exhaust vent, causes a code violation because it is a 'combustible material' in direct contact with the vent.



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**Heating (Unit-2):**

Comments: (Unit-2)

-No issues.

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**B. Cooling Equipment****Cooling (Unit-1):**TREC 'Required' Information: Type of Cooling System: **Conventional** Energy Source: **Electric**Cooling Test Results: Return Temp. **0** Supply Temp. **0** Differential **0**

Comments: (Unit-1)

**NOTE: Unit-1 is a Trane XE1200 (High Efficiency) 5-Ton system.****NOTE: \*\*\* The Air Conditioning unit(s) were inspected but were not operated since the ambient temperature was below 60 degrees.****-The unit does not have the required 12" clearance from the house.****-The units do not have the required 24" separation between each other.****Cooling (Unit-2):**Cooling Test Results: Return Temp. **0** Supply Temp. **0** Differential **0**

Comments: (Unit-2)

**NOTE: Unit-2 is a Trane XE1200 (High Efficiency) 4-Ton system.**
☒ ☐ ☐ ☐
**C. Duct System, Chases, and Vents**

Comments:

**IV. PLUMBING SYSTEM**
☒ ☐ ☐ ☒
**A. Water Supply System and Fixtures**TREC 'Required' Information: Static water pressure reading: **60- PSI**Location of water meter: **Street** Location of main water supply valve: **Right side**

Comments:

**-Bathrooms:****-In the master bath, the left sink drain pipe leaks 'VERY BAD'.****-In the upstairs jack & jill bathroom, the bathtub faucet knob is loose.**



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**B. Drains, Wastes, and Vents**

Comments:

**-In the garage attic, there is a plumbing 'vent pipe' which VERY INCORRECTLY travels horizontally and terminates directly above the ceiling drywall. (This pipe 'appears' to serve absolutely 'no purpose' and poses the risk of introducing rain water, through the vent pipes, and into the attic) (The inspector HIGHLY RECOMMENDS that this situation be corrected)**


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**C. Water Heating Equipment****Water Heating (Unit-1):**TREC 'Required' Information:      Energy Source: **Gas**      Capacity: **50-Gal**

Comments: (Unit-1)

**-The gas vent flue did not have the required 1 inch clearance from wood material where it penetrates the roof decking. (direct contact was noted)**



**-The water heater supply lines do not have the required dielectric fittings. (These fittings prevent corrosion)**

**-The water heater supply lines were corroded.**



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**Water Heating (Unit-2):**

TREC 'Required' Information:

Energy Source: **Gas**Capacity: **40-Gal**

Comments: (Unit-2)

**-The water heater supply lines were corroded.****D. Hydro-Massage Therapy Equipment**

Comments:

**-The Hydro-Massage Equipment is not functional.** (The inspector was unable to determine whether the problem was the 'air switch', GFCI breaker, or perhaps the motor itself)**V. APPLIANCES****A. Dishwasher**

Comments:

**B. Food Waste Disposer**

Comments:

**C. Range Exhaust Vent**

Comments:

**-The downdraft exhaust vent is improperly connected together with 'tape'.**



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I	NI	NP	D	Inspection Item
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☒    ☐    ☐    ☒
**D. Ranges, Cooktops, and Ovens**Range Source: **Not Present**      Cooktop Source: **Gas**Oven Source: **Electric**Oven Temp Test: (Oven set to 350°F) Actual Temp: (Oven-1 **345°F**) (Oven-2 **350°F**)

Comments:

-If the front right burner is turned 'below level-5', it causes all four igniters to continuously spark.

-The gas line supply to the kitchen island cooktop is 'flexible plastic' which is **NOT allowed by code**. (Plastic gas lines can ONLY be used 'outside' and 'underground'. Plastic gas line 'cannot' be used 'inside' the house, or 'under' the foundation)

(NOTE: See the 'yellow' plastic gas line in the following photos)


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**E. Microwave Oven**

Comments:

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**F. Trash Compactor**

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

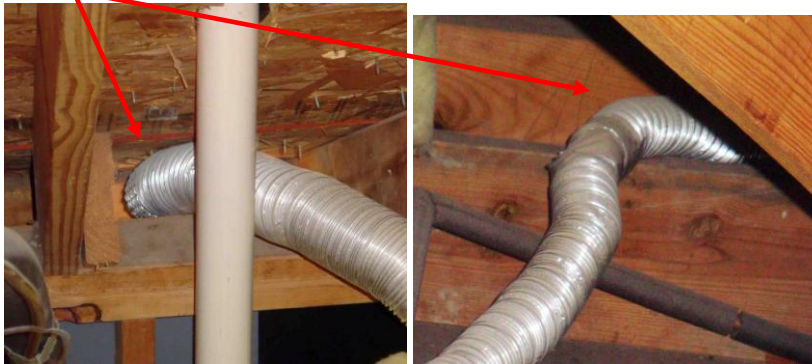
D=Deficiency

I	NI	NP	D	Inspection Item
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☒ ☐ ☐ ☒**G. Mechanical Exhaust Vents and Bathroom Heaters**

Comments:

**-Mechanical exhaust vent(s) do not exit to the outside air as required. (terminating into a 'soffit' is not allowed)**

☒ ☐ ☐ ☒**H. Garage Door Operator(s)**

Comments:

**-On 'BOTH' of the garage doors, when the automatic opener is disengaged, the garage door springs will not keep the garage door open, as required.**

☒ ☐ ☐ ☐**I. Doorbell and Chimes**

Comments:

☒ ☐ ☐ ☐**J. Dryer Vents**

Comments:

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**VI. OPTIONAL SYSTEMS**
☐ ☒ ☐ ☐
**A. Lawn and Garden Sprinkler Systems**

Comments:

☐ ☒ ☐ ☒
**B. Swimming Pools, Spas, Hot Tubs, and Equipment**

Comments:

NOTE: The inspector did 'not' inspect the swimming pool equipment.

HOWEVER, the inspector is required to make note of code safety issues if they exist, as follows:**-The side gates have latches that are openable from the outside, and the gates are not self-closing.****-The back fence gate latch (although on the inside), has openings greater than one half inch, within 18 inches of the latch. The gate is also not self closing.****-The household doors with direct access to the pool do not have an audible alarm that sounds for 30 seconds throughout the house. (When installed, the alarm control must be a minimum of 54 inches high)**
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**C. Outbuildings**

Comments:

☐ ☐ ☒ ☐
**D. Outdoor Cooking Equipment**

Comments:

☒ ☐ ☐ ☐
**E. Gas Supply Systems**

Comments:

**-No 'general' gas line check was done. (most gas system lines are inaccessible)****-The inspector checked for gas 'leaks' at each individual system / appliance.  
(see individual report sections for details)**
☐ ☐ ☒ ☐
**F. Private Water Wells** (A coliform analysis is recommended.)

Comments:

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**G. Private Sewage Disposal (Septic) Systems**

Comments:

☐ ☒ ☐ ☐
**H. Whole House Vacuum Systems**

Comments:

☐ ☐ ☒ ☐
**I. Other Built-in Appliances**

Comments:



## Additional Comments

### \*\*\* SUMMARY OF INSPECTION \*\*\*

## I. STRUCTURAL SYSTEMS

### C. ROOF COVERING MATERIALS:

- PVC vents should be painted as required.
- At the flat metal roof above the front porch, the inspector was unable to determine the flashing method used.
- At the flat metal roof above the front porch, the inspector noted that the brick installation 'may' not conform to standard installation methods.
- Minor shingle damage was noted on the lower edges in several locations.
- In the back, just above the chimney, either 'age' or 'damage' to the shingles was noted.
- On the back side, one exhaust vent 'appears' that the rain collar may not be attached well.
- One of the exhaust vent flashings is incorrectly sealed with both spray foam and tar on the underside.
- A second exhaust vent flashing is also incorrectly sealed with tar on the underside.
- The inspector noted 'several' areas of questionable roof flashings around the chimney.

### E. WALLS (Interior & Exterior):

- There is a 'small' crack in the mortar above the front upper left window
- On the left side, at the pool equipment, the brick does not have the required vertical clearance to the grade.
- All outdoor faucets, gas, other pipes and vents should be sealed with sealant to prevent water penetration through the exterior walls.
- On the right exterior wall, a code violation was noted with regard to the 'glass blocks' in the three bathroom windows.

### G. DOORS (Interior & Exterior):

- Safety Glass was not present as required in the front door.
- The door between the residence and the garage is not 'self closing'.
- The first floor guest bath sliding door latch is not functional.
- In the upstairs jack & jill bathroom, the sliding door latch is not functional.

### I. STAIRWAYS (Interior & Exterior):

- The pull down staircase in the garage is not adequately secured to the ceiling joists.
- The attic fold-down staircase does not have the required decked 'landing area' in the attic.

### J. FIREPLACE / CHIMNEY:

- The exhaust vent 'damper clamp' is missing.
- The wooden chimney area, where it penetrates the roof decking, is incorrectly 'patched' with spray foam.

## II. ELECTRICAL SYSTEMS

### A. SERVICE ENTRANCE AND PANELS:

#### MAIN PANEL (Outside):

- Some of the breakers are not labeled as required.
- None of the required locations in the house were protected by Arc Fault Breakers as is required by current building code.
- 'Double lugging' of Neutral wires was noted on the neutral bar.
- The grounding wire is not securely connected to the grounding electrode.

#### SUB PANEL (Inside):

- None of the required locations in the house were protected by Arc Fault Breakers as is required by current building code.
- 'Double lugging' of Neutral wires was noted on the neutral bar.
- Inside the panel box, the inspector was unable to 'definitively determine' a wire on the ground bus bar, which is being used as the 'ground wire' to the outside grounding electrode. Also, on the outside of the house, the inspector was unable to locate a 'grounding electrode' connected to the sub-panel.

**B. BRANCH CIRCUITS, CONNECTED DEVICES, AND FIXTURES:**

- The required GFCI receptacle(s) were not functional on the front porch.
- The required GFCI receptacles were not present at both front upper soffits.
- On the garage right wall, two receptacles are not GFCI protected as required.
- The receptacle is not secure in the kitchen, to the right of the microwave.
- In the master bath, the receptacle to the left of the left sink has a broken face plate.
- The receptacle is not secure in the formal living room, second on the right wall.
- The receptacle is not secure on the left wall of the purple bedroom.

**III. HEATING, VENTILATION, AND AIR CONDITIONING SYSTEMS****A. HEATING EQUIPMENT:**

- The exhaust vent, at the roof penetration, is incorrectly sealed with spray foam.
- The spray foam attached to the furnace exhaust vent, causes a code violation because it is a 'combustible material' in direct contact with the vent.

**B. COOLING EQUIPMENT:**

NOTE: \*\*\* The Air Conditioning unit(s) were inspected but were not operated since the ambient temperature was below 60 degrees.

- The unit does not have the required 12" clearance from the house.
- The units do not have the required 24" separation between each other.

**IV. PLUMBING SYSTEM****A. WATER SUPPLY SYSTEM, AND FIXTURES:**

- In the master bath, the left sink drain pipe leaks 'VERY BAD'.
- In the upstairs jack & jill bathroom, the bathtub faucet knob is loose.

**B. Drains, Wastes & Vents**

- In the garage attic, there is a plumbing 'vent pipe' which VERY INCORRECTLY travels horizontally and terminates directly above the ceiling drywall.

**C. WATER HEATING EQUIPMENT:**

- The gas vent flue did not have the required 1 inch clearance from wood material where it penetrates the roof decking.
- The water heater supply lines do not have the required dielectric fittings.
- The water heater supply lines were corroded.

**D. Hydro-Massage Therapy Equipment**

- The Hydro-Massage Equipment is not functional.

**V. APPLIANCES**

- The downdraft exhaust vent is improperly connected together with 'tape'.
- If the front right burner is turned 'below level-5', it causes all four igniters to continuously spark.
- The gas line supply to the kitchen island cooktop is 'flexible plastic' which is NOT allowed by code.
- Mechanical exhaust vent(s) do not exit to the outside air as required.
- On 'BOTH' of the garage doors, when the automatic opener is disengaged, the garage door springs will not keep the garage door open, as required.

**IV. OPTIONAL SYSTEMS****B. Swimming Pools, Spas, Hot Tubs and Equipment**

- The side gates have latches that are openable from the outside, and the gates are not self-closing.
- The back fence gate latch (although on the inside), has openings greater than one half inch, within 18 inches of the latch. The gate is also not self closing.
- The household doors with direct access to the pool do not have an audible alarm that sounds for 30 seconds throughout the house.



APPROVED BY THE TEXAS REAL ESTATE COMMISSION (TREC)  
P.O. BOX 12188, AUSTIN, TX 78711-2188

10-27-08

## TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- improperly installed or missing arc fault protection (AFCI) devices for electrical receptacles in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas;
- ordinary glass in locations where modern construction techniques call for safety glass;
- the lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices; and
- lack of electrical bonding and grounding.

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

This form has been approved by the Texas Real Estate Commission for voluntary use by its licensees. Copies of TREC rules governing real estate brokers, salesperson and real estate inspectors are available at nominal cost from TREC. Texas Real Estate Commission, P.O. Box 12188, Austin, TX 78711-2188, 1-800-250-8732 or (512) 459-6544 (<http://www.trec.state.tx.us>)

TREC Form No. OP-I

This form is available on the TREC website at [www.trec.state.tx.us](http://www.trec.state.tx.us)



### **Important Limitations and Disclaimers**

This Property Inspection Report reports on only the items listed and only on the current condition of those items as of the date of inspection. This report reflects only if the items inspected are observed to be "operable" or "inoperable" at the time of inspection; that is whether such items are observed to serve the purpose for which they are ordinarily intended, at this time. This report reflects only those items that are reasonably observable at the time of inspection. NO REPRESENTATION OR COMMENT is made concerning any latent defect or defects not reasonably observable at the time of the inspection or of items which require the removal of major or permanent coverings. For example, but without limitation, recent repairs, painting or covering may conceal prior or present leak damage which is not reasonably observable by the inspector and no representation or comment can be made. NO REPRESENTATION IS MADE CONCERNING ANY OTHER CONDITION OR THE FUTURE PERFORMANCE OF ANY ITEM. NO REPRESENTATION IS MADE AS TO ITEMS NOT SPECIFICALLY COMMENTED UPON. If a comment is made concerning the condition of any item, the Client is URGED to contact a qualified SPECIALIST to make further inspections or evaluations of that item. Client must notify Real Estate Inspection Specialist in writing of any complaints within seven (7) days of the date of inspection and must thereafter allow prompt re-inspection of the item in question. All items contained or implied in this report are subject to the Pre-Inspection Service Agreement signed by the Client and Real Estate Inspection Specialist. The Client, by accepting this Report or relying upon it in any way, expressly agrees to these Limitations and Disclaimers.

For more information concerning your rights, contact the Consumer Protection Division of the Attorney General's Office, your local District or County Attorney, or the attorney of your choice.

This inspection is essentially visual, it is not technically exhaustive, and it does not imply that every defect will be discovered. It is only a statement of opinion and/or condition as of and on the date indicated on this report.

INSPECTED BY: Rodney Sims    LICENSE #: 10271

(Real Estate Inspection Specialist)

CELL: 713-829-7732

[rodney@rei-specialist.com](mailto:rodney@rei-specialist.com)

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#### **A message from Rodney Sims:**

**I thank you for your trust and confidence in Real Estate Inspection Specialist.**

**I have built my company with the focus on 'serving the client', and providing the highest quality inspections and reports available (anywhere). I go the extra mile to guarantee your satisfaction.**

**If you are pleased with my service to you, I would appreciate your referral of my company to your friends and colleagues.**

**Thank you,**

**Rodney Sims (Owner / Inspector)**

**Real Estate Inspection Specialist**

