

PROPERTY INSPECTION REPORT

Prepared For: **John Doe**

(Name of Client)

Concerning: **1234 Anywhere Lane The Woodlands, Texas 77380**

(Address or Other Identification of Inspected Property)

By: **Rodney Sims / Lic# 10271**

(Name and License Number of Inspector)

2/10/2010 / 9:00am

(Date / Time)

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.state.tx.us. The TREC Standards of Practice (Sections 535.227-535.231 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is not required to move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector will note which systems and components were Inspected (I), Not Inspected (NI), Not Present (NP), and/or Deficient (D). General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing parts, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported as Deficient may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards, form OP-I.

This property inspection is not an exhaustive inspection of the structure, systems, or components. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

Items identified in the report do not obligate any party to make repairs or take other action, nor is the purchaser required to request that the seller take any action. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Inspection and Report by:
(Real Estate Inspection Specialist)



☒ Occupied

☐ Vacant

PRESENT AT INSPECTION: **Buyer / Seller**

Weather Condition at Time of Inspection

☒ Clear

☐ Overcast/Hazy

☐ Cloudy

☐ Rainy

☐ Snow/Ice

Outside Temperature: Arrival **41° F.** Departure: **50° F.**

**NOTE: Please see the ‘SUMMARY OF INSPECTION’
located at the end of this document.**

NOTE: Regarding TREC OP-I Form (Hazards and Deficiencies):

Effective 02/01/2009, the Texas Real Estate Commission issued revised Standards of Practice (see the TREC OP-I form) **‘mandating’ Licensed Home Inspectors to report certain Hazards or Deficiencies**, even though these conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been ‘grandfathered’. Some sections of this report ‘may’ reflect items which have been flagged as ‘D’ for ‘Deficiency’ as a result of this mandate. For further clarification of any of these items, please refer to the text of the TREC OP-I form at the end of this document.

NOTE: Regarding Usage of the ‘D - Deficiency’ Code:

If the inspector notes a System (report section) as Deficient, it does not necessarily indicate that the ‘entire’ System is Deficient, but rather that ‘at least one’ Deficiency was noted for that System.

EXAMPLE: If the ‘oven clock’ is inoperative, the inspector will specifically note this on the report and, as required by TREC, also (flag) the report section for ‘Ranges, Cooktops and Ovens’ as Deficient. **(HOWEVER, this DOES NOT imply that the ‘ENTIRE’ Range, Cooktop and Oven was Deficient**, but rather that ‘at least one’ Deficiency was noted for this System).

Photo of Subject Property:



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficiency

I	NI	NP	D	Inspection Item
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I. STRUCTURAL SYSTEMS

☒ ☐ ☐ ☒

A. Foundations

TREC 'Required' Information: Foundation Type (appeared to be):
Concrete Post-tension Slab

Crawl Space Inspected From: **Not Applicable for a Slab**

NOTE: If the client has additional concerns regarding specific components of the foundation system, it is recommended that the client contact a competent professional Structural Engineer.

Comments: (An opinion on performance is mandatory):

-A post tension cable end was visible in the front. (These cable ends should be coated with appropriate sealant to protect the cable from moisture)


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B. Grading & Drainage

Comments:

☒ ☐ ☐ ☒

C. Roof Covering Materials

TREC 'Required' Information: Roof Viewed From: **Walked most surfaces**

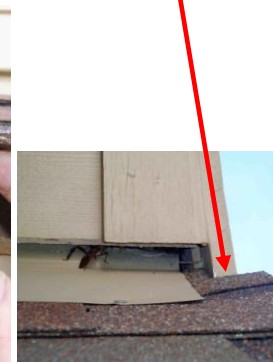
Roof Covering (Type): **Composition** Roof Levels NOT accessed: **N/A**

Evidence of 'Previous Repairs' to Roof Coverings and Flashings: **No**

Comments:

-On the lower part of the chimney, where the small roof rake meets the vertical siding, the J-Flashing terminates several inches above the lower edge of the shingles.

-On the outer edge, the 'Apron flashing' should continue all the way to the outermost edge of the chimney siding.



-The same situation exists on the other side of the chimney also.

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NOTE: Moisture meter testing on the decking under the shingles in the area indicated a current high 35% moisture content.



-In 'several areas', there were exposed nail heads on the on the apron flashing. (these should be sealed to prevent leakage)

-Exposed nail heads were noted on several roof jack flashings

-On the left side small roof rake, a nail is protruding into the shingles.



-PVC vents should be painted as required. (This prevents deterioration by the sun's UV rays)

-One roof jack has tape sealing the rain collar to the vent pipe.

-The metal flashing on the upper side of the chimney is not installed correctly. There should be a horizontal 'Head Flashing' in place which acts as a water shed to transfer rain water to either side of the chimney structure extending 'several inches' on each side. (Please see photos below, as well as the diagram. The diagram provided is actually for a 'brick' chimney, but the head flashing 'technique' is very similar)



I=Inspected NI=Not Inspected NP=Not Present D=Deficiency

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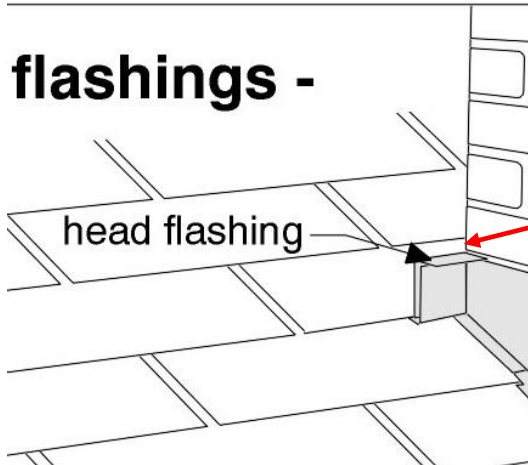


Diagram of a Chimney head flashing on a 'brick' chimney. (similar concept)

☒ ☐ ☐ ☐

D. Roof Structure & Attic

TREC 'Required' Information (Attic): Attic Viewed From: **Walked deck or safe area**
Approx. Avg. Depth of Insulation: **8"** Approx. Avg. Thickness of Vertical Insulation: **3.5"**

Comments:

☒ ☐ ☐ ☒

E. Walls (Interior & Exterior)

Comments:

INTERIOR:

-In the Kitchen, on top of the cabinets on the outer wall, there is evidence of a prior drywall patch.

-In the Kitchen, on top right of the cabinets on the outer wall, it appears that the cabinets have been re-sealed to the ceiling.

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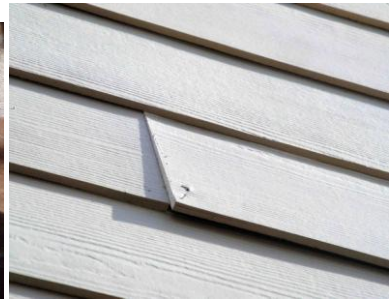
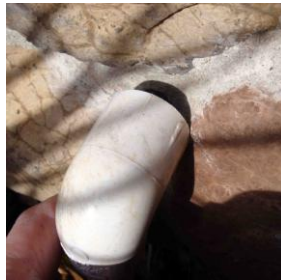
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**EXTERIOR:**

- On the right side, a (temporary) 1x2 board under the stone should be removed.
- On the right side, the wall penetration for the low voltage lighting should be sealed better.
- On the right upper side, a hardy board should be secured better and resealed on the end.



- The A/C refrigerant line should be sealed better where it penetrates the wall.
- A hole in the wall for wiring should be sealed.

☒ ☐ ☐ ☐**F. Ceilings & Floors**

Comments:

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☒ ☐ ☐ ☒ **G. Doors (Interior & Exterior)**

Comments:

- The dead bolt is difficult to fully engage on the front door.
- The door from the residence to the garage has no trim on the garage side. (necessary to meet fire code)
- The door between the residence and the garage is not 'self closing'. (This is a fire safety requirement)

☒ ☐ ☐ ☒ **H. Windows**

Comments:

- Most of the open able windows had no screens.

☒ ☐ ☐ ☐ **I. Stairways (Interior & Exterior)**

Comments:

☒ ☐ ☐ ☒ **J. Fireplace/Chimney**
Type: **Metal** Fuel Source: **Gas and Wood**

Comments:

- The exhaust vent 'damper clamp' is missing. (This is a required safety device on gas fireplaces.)

☒ ☐ ☐ ☐ **K. Porches, Balconies, Decks, and Carports**
Comments: *Note: Structural load capabilities were not inspected*
☐ ☐ ☒ ☐ **L. Other**

Comments:

II. ELECTRICAL SYSTEMS
☒ ☐ ☐ ☒ **A. Service Entrance and Panels**

(Refer to OP-I form at the end of this document for some TREC requirements)

Comments:

- Most of the breakers are not labeled as required.
- The white wires used as hot wires are not marked as such.
- The A/C outside condenser unit specific a Max Fuse (breaker) size of 40-Amps. However, the breaker in the panel for the A/C condenser is a 60-Amp breaker. (This mismatch is recommended max size should be corrected. It is considered a fire hazard)
- 'Some' of the required locations in the house were protected by Arc Fault Breakers as is required by current building code. Even though this may have not been required at the time of construction, TREC requires that licensed inspectors flag this condition with a "D" for "Deficiency". For more information, refer to the TREC OP-I Form at the end of this report.

I=Inspected

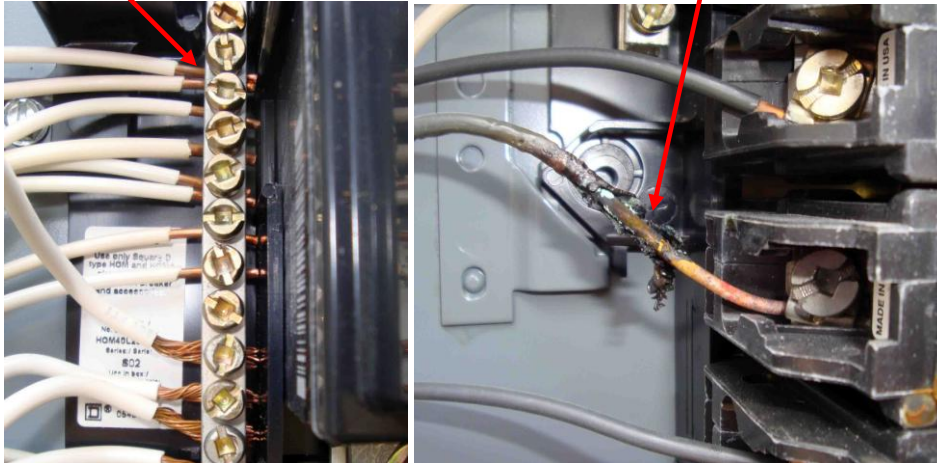
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- ‘Double lugging’ of wires was noted on several lugs on the neutral bus bar.
- One of the branch circuit conductor wires is significantly burned.



☒ Due to issues observed, recommend service and system check by licensed electrician.

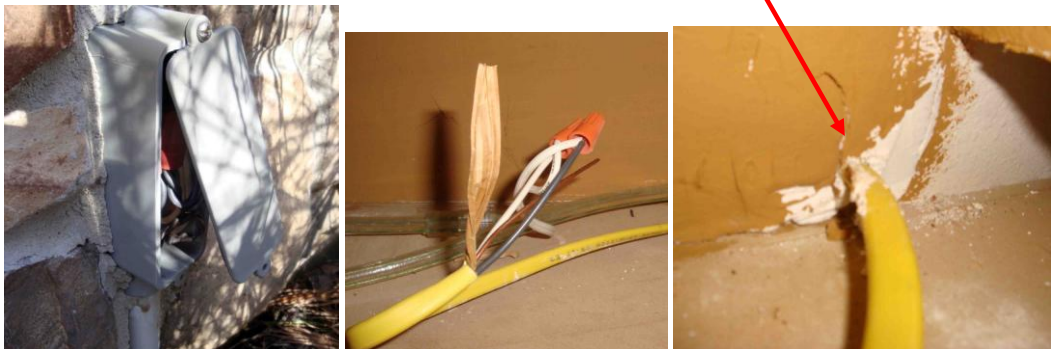
☒ ☐ ☐ ☒

B. Branch Circuits, Connected Devices, and Fixtures

TREC 'Required' Information: Type of Wiring: Copper

Comments: *Note: Central Smoke Alarms were not tested.*

- In the kitchen, the 2 receptacles on the wall to the right of the range, are not GFCI protected.
- None of the receptacles in the garage were GFCI protected as required.
- None of the receptacles at the back deck kitchenette were GFCI protected as required.
- The two upstairs bathroom GFCI receptacles are incorrectly wired together 'in series'.
- The receptacle on the garage ceiling has no face plate.
- On the right center, an external junction box cover should be secured.
- In the Kitchen, on top of the cabinets on the outer wall, there is an unprotected wire splice.
- In the Kitchen, on top of the cabinets on the outer wall, an unprotected romex wire passes directly through the drywall.



- In the study, on the countertop in the alcove, the receptacle yoke is hanging out of the wall, and does not have a face plate.
- In the attic, one light switch box has no face plate.
- Extension cord wire used as 'permanent wiring' for lights under kitchen cabinets.

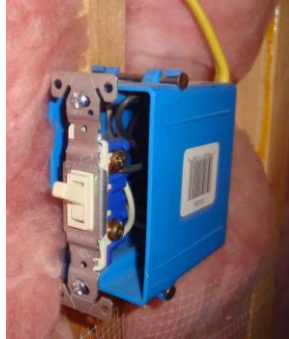
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-Several of the recessed light cans in the attic were **NOT RATED** for direct contact with combustible materials. (This is a fire safety requirement) (There was direct contact with the insulation)

-Several of the recessed light cans also had 'open wire splices' at the built-in junction box on the light.



-The smoke alarms were not centrally wired.

-Smoke alarms were not present in all required rooms.

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS



A. Heating Equipment

Heating (Unit-1):

TREC 'Required' Information:

Type of Heating System: **Furnace** Energy Source: **Gas**

Comments: (Unit-1)

-The gas line to the furnace did not have the required 'drip leg' (sediment trap). (This prevents any sediment from entering the furnace burners)

-The furnace power cord for the blower motor does not have the required 'grommet protection' where it enters the furnace.

-The flexible gas line is not allowed to pass through the wall of the furnace. (It must be concerted to 'hard pipe' before passing through the furnace wall) (See the diagram below for an example of a gas pipe 'drip leg' AND how 'hard pipe' should pass through the wall of the furnace.

I=Inspected

NI=Not Inspected

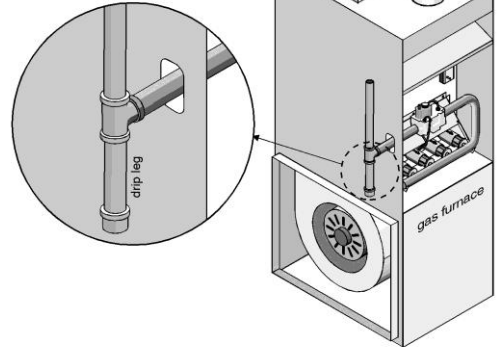
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**Drip leg**

the drip leg (or dirt pocket) serves as a collection area for sediment to reduce the chance of clogged gas valves or burners



- ☒ Due to issues observed, recommend service by qualified H.V.A.C Service Company
Note: Gas furnace heat exchangers cannot be thoroughly inspected without disassembly.

☒ ☐ ☐ ☐

B. Cooling Equipment**Cooling (Unit-1):**

TREC 'Required' Information: Type of Cooling System: **Conventional** Energy Source: **Electric**

 Cooling Test Results: Return Temp. **0** Supply Temp. **0** Differential **0**

Comments: (Unit-1)

NOTE: * The Air Conditioning unit was inspected but was not operated since the ambient temperature was below 60 degrees.**

NOTE: (This appeared to be a 'HIGH QUALITY' zoned system installation)

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C. Duct System, Chases, and Vents

Comments:

IV. PLUMBING SYSTEM

☒ ☐ ☐ ☒

A. Water Supply System and Fixtures

TREC 'Required' Information: Static water pressure reading: **55-PSI**

Location of water meter: **N/A** Location of main water supply valve: **Right Side**

Comments:

NOTE: The Property uses a Private Water Well.

-Bathrooms:

-The commode was not securely mounted in the first floor half bath.

-The drain stopper will not fully open in the first floor half bath.

-The faucet on the master bath tub, is 'very' loose.

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-The master bath shower has a few small spots where the grout is cracked or missing.



-Outside Plumbing:

-The outside faucets should have backflow preventers.

☒ ☐ ☐ ☐

B. Drains, Wastes, and Vents

Comments:

☒ ☐ ☐ ☒

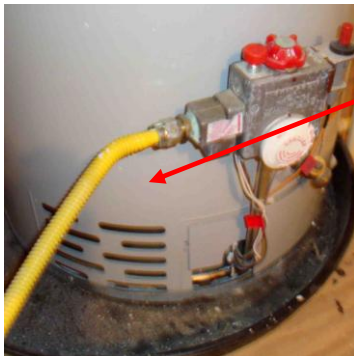
C. Water Heating Equipment

Water Heating (Unit-1):

TREC 'Required' Information: Energy Source: **Gas** Capacity: **50-Gal**

Comments: (Unit-1)

-The gas line to the water heater did not have the required 'drip leg' (sediment trap). (This prevents any sediment from entering the water heater burners)



☐ ☐ ☒ ☐

D. Hydro-Massage Therapy Equipment

Comments:

V. APPLIANCES

☒ ☐ ☐ ☐

A. Dishwasher

Comments:

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☐ ☐ ☒ ☐ **B. Food Waste Disposer**

Comments:

☒ ☐ ☐ ☐ **C. Range Exhaust Vent**

Comments:

☒ ☐ ☐ ☒ **D. Ranges, Cooktops, and Ovens**
Range Source: **Sources Different** Cooktop Source: **Gas**Oven Source: **Electric**Oven Temp Test: (Oven set to 350°F) Actual Temp: (Oven-1 **340°F**) (Oven-2 °F)

Comments:

-The range does not have the anti-tip device installed as required. (This is a child safety feature for free-standing ranges)

☒ ☐ ☐ ☐ **E. Microwave Oven**

Comments:

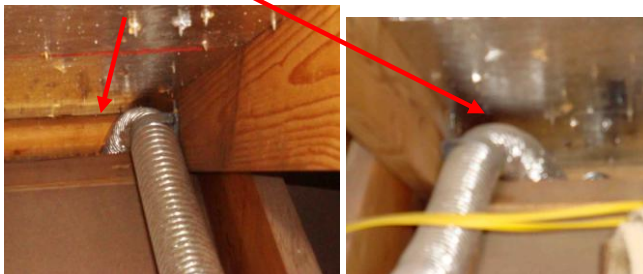
☐ ☐ ☒ ☐ **F. Trash Compactor**

Comments:

☒ ☐ ☐ ☒ **G. Mechanical Exhaust Vents and Bathroom Heaters**

Comments:

-At least two mechanical exhaust vent(s) do not exit to the outside air as required. (exiting into a soffit is 'not' allowed)


☒ ☐ ☐ ☒ **H. Garage Door Operator(s)**

Comments:

-The garage door opener 'manual release' cord, is tied onto the 'wrong location' and is currently not functional.

☒ ☐ ☐ ☐ **I. Doorbell and Chimes**

Comments:

☒ ☐ ☐ ☐ **J. Dryer Vents**

Comments:

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VI. OPTIONAL SYSTEMS
☐ ☒ ☐ ☐
A. Lawn and Garden Sprinkler Systems

Comments:

☐ ☐ ☒ ☐
B. Swimming Pools, Spas, Hot Tubs, and Equipment

Comments:

☐ ☐ ☒ ☐
C. Outbuildings

Comments:

☒ ☐ ☐ ☐
D. Outdoor Cooking Equipment

Comments:

☒ ☐ ☐ ☐
E. Gas Supply Systems

Comments:

-No 'general' gas line check was done. (most gas system lines are inaccessible)

-The inspector checked for gas 'leaks' at each individual system / appliance.

(see individual report sections for details)

☐ ☒ ☐ ☐
F. Private Water Wells (A coliform analysis is recommended.)

Comments:

☐ ☒ ☐ ☐
G. Private Sewage Disposal (Septic) Systems

Comments:

☐ ☐ ☒ ☐
H. Whole House Vacuum Systems

Comments:

☐ ☐ ☒ ☐
I. Other Built-in Appliances

Comments:

Additional Comments

*** SUMMARY OF INSPECTION ***

I. STRUCTURAL SYSTEMS

A. FOUNDATIONS:

- A post tension cable end was visible in the front.

C. ROOF COVERING MATERIALS:

- On the lower part of the chimney, where the small roof rake meets the vertical siding, the J-Flashing terminates several inches above the lower edge of the shingles.
- On the outer edge, the 'Apron flashing' should continue all the way to the outermost edge of the chimney siding.
- The same situation exists on the other side of the chimney also.
- In 'several areas', there were exposed nail heads on the on the apron flashing.
- Exposed nail heads were noted on several roof jack flashings
- On the left side small roof rake, a nail is protruding into the shingles.
- PVC vents should be painted as required.
- One roof jack has tape sealing the rain collar to the vent pipe.
- The metal flashing on the upper side of the chimney is not installed correctly.

E. WALLS (Interior & Exterior):

INTERIOR:

- In the Kitchen, on top of the cabinets on the outer wall, there is evidence of a prior drywall patch.
- In the Kitchen, on top right of the cabinets on the outer wall, it appears that the cabinets have been re-sealed to the ceiling.

EXTERIOR:

- On the right side, a (temporary) 1x2 board under the stone should be removed.
- On the right side, the wall penetration for the low voltage lighting should be sealed better.
- On the right upper side, a hardy board should be secured better and resealed on the end.
- The A/C refrigerant line should be sealed better where it penetrates the wall.
- A hole in the wall for wiring should be sealed.

G. DOORS (Interior & Exterior):

- The dead bolt is difficult to fully engage on the front door.
- The door from the residence to the garage has no trim on the garage side.
- The door between the residence and the garage is not 'self closing'.

H. WINDOWS:

- Most of the open able windows had no screens.

J. FIREPLACE / CHIMNEY:

- The exhaust vent 'damper clamp' is missing.

II. ELECTRICAL SYSTEMS

A. SERVICE ENTRANCE AND PANELS:

- Most of the breakers are not labeled as required.
- The white wires used as hot wires are not marked as such.
- The A/C outside condenser unit specific a Max Fuse (breaker) size of 40-Amps. However, the breaker in the panel for the A/C condenser is a 60-Amp breaker.
- 'Some' of the required locations in the house were protected by Arc Fault Breakers as is required by current building code.
- One of the branch circuit conductor wires is significantly burned.
- 'Double lugging' of wires was noted on several lugs on the neutral bus bar.

B. BRANCH CIRCUITS, CONNECTED DEVICES, AND FIXTURES:

- In the kitchen, the 2 receptacles on the wall to the right of the range, are not GFCI protected.

- None of the receptacles in the garage were GFCI protected as required.
- None of the receptacles at the back deck kitchenette were GFCI protected as required.
- The two upstairs bathroom GFCI receptacles are incorrectly wired together 'in series'.
- The receptacle on the garage ceiling has no face plate.
- On the right center, an external junction box cover should be secured.
- In the Kitchen, on top of the cabinets on the outer wall, there is an unprotected wire splice.
- In the Kitchen, above the cabinets on the outer wall, unprotected romex wire passes directly through the drywall.
- In the study, on the countertop in the alcove, the receptacle yoke is hanging out of the wall, and does not have a face plate.
- In the attic, one light switch box has no face plate.
- Extension cord wire used as 'permanent wiring' for lights under kitchen cabinets.
- Several of the recessed light cans in the attic were NOT RATED for direct contact with combustible materials.
- Several of the recessed light cans also had 'open wire splices' at the built-in junction box on the light.
- The smoke alarms were not centrally wired.
- Smoke alarms were not present in all required rooms.

III. HEATING, VENTILATION, AND AIR CONDITIONING SYSTEMS

A. HEATING EQUIPMENT:

- The gas line to the furnace did not have the required 'drip leg' (sediment trap).
- The furnace power cord for the blower motor does not have the required 'grommet protection' where it enters the furnace.
- The flexible gas line is not allowed to pass through the wall of the furnace.

IV. PLUMBING SYSTEM

A. WATER SUPPLY SYSTEM, AND FIXTURES:

- The commode was not securely mounted in the first floor half bath.
- The drain stopper will not fully open in the first floor half bath.
- The faucet on the master bath tub, is 'very' loose.
- The master bath shower has a few small spots where the grout is cracked or missing.
- The outside faucets should have backflow preventers.

C. WATER HEATING EQUIPMENT:

- The gas line to the water heater did not have the required 'drip leg' (sediment trap).

V. APPLIANCES

- The range does not have the anti-tip device installed as required.
- At least two mechanical exhaust vent(s) do not exit to the outside air as required.
- The garage door opener 'manual release' cord, is tied onto the 'wrong location' and is currently not functional.



APPROVED BY THE TEXAS REAL ESTATE COMMISSION (TREC)
P.O. BOX 12188, AUSTIN, TX 78711-2188

10-27-08

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- improperly installed or missing arc fault protection (AFCI) devices for electrical receptacles in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas;
- ordinary glass in locations where modern construction techniques call for safety glass;
- the lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices; and
- lack of electrical bonding and grounding.

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

This form has been approved by the Texas Real Estate Commission for voluntary use by its licensees. Copies of TREC rules governing real estate brokers, salesperson and real estate inspectors are available at nominal cost from TREC. Texas Real Estate Commission, P.O. Box 12188, Austin, TX 78711-2188, 1-800-250-8732 or (512) 459-6544 (<http://www.trec.state.tx.us>)

TREC Form No. OP-1

This form is available on the TREC website at www.trec.state.tx.us

Important Limitations and Disclaimers

This Property Inspection Report reports on only the items listed and only on the current condition of those items as of the date of inspection. This report reflects only if the items inspected are observed to be "operable" or "inoperable" at the time of inspection; that is whether such items are observed to serve the purpose for which they are ordinarily intended, at this time. This report reflects only those items that are reasonably observable at the time of inspection. NO REPRESENTATION OR COMMENT is made concerning any latent defect or defects not reasonably observable at the time of the inspection or of items which require the removal of major or permanent coverings. For example, but without limitation, recent repairs, painting or covering may conceal prior or present leak damage which is not reasonably observable by the inspector and no representation or comment can be made. NO REPRESENTATION IS MADE CONCERNING ANY OTHER CONDITION OR THE FUTURE PERFORMANCE OF ANY ITEM. NO REPRESENTATION IS MADE AS TO ITEMS NOT SPECIFICALLY COMMENTED UPON. If a comment is made concerning the condition of any item, the Client is URGED to contact a qualified SPECIALIST to make further inspections or evaluations of that item. Client must notify Real Estate Inspection Specialist in writing of any complaints within seven (7) days of the date of inspection and must thereafter allow prompt re-inspection of the item in question. All items contained or implied in this report are subject to the Pre-Inspection Service Agreement signed by the Client and Real Estate Inspection Specialist. The Client, by accepting this Report or relying upon it in any way, expressly agrees to these Limitations and Disclaimers.

For more information concerning your rights, contact the Consumer Protection Division of the Attorney General's Office, your local District or County Attorney, or the attorney of your choice.

This inspection is essentially visual, it is not technically exhaustive, and it does not imply that every defect will be discovered. It is only a statement of opinion and/or condition as of and on the date indicated on this report.

INSPECTED BY: Rodney Sims LICENSE #: 10271

(Real Estate Inspection Specialist)

CELL: 713-829-7732

rodney@rei-specialist.com

www.rei-specialist.com

A message from Rodney Sims:

I thank you for your trust and confidence in Real Estate Inspection Specialist.

I have built my company with the focus on 'serving the client', and providing the highest quality inspections and reports available (anywhere). I go the extra mile to guarantee your satisfaction.

If you are pleased with my service to you, I would appreciate your referral of my company to your friends and colleagues.

Thank you,

Rodney Sims (Owner / Inspector)

Real Estate Inspection Specialist

